

Proposed: Steel Framed Dwelling

Client: Daniel & Merinda Nash

Address: 2729 Braidwood Road, Lake Bathurst, NSW 2580

GOULBURN MULWAREE COUNCIL

General Specification:

- Drawings prepared via information supplied by the owner and/or builder
- All Measurements & Dimensions are in millimetres unless otherwise stated
- All Dimensions, Levels & Heights to be verified on site prior to construction
- Builder to be responsible to verify all documentation as to their accuracy & suitability
- Surveyed Levels to be taken in preference to Datum Heights
- Plans are to be read in conjunction with Engineers details & other provided documentation/drawings
- All Construction to be in accordance with National Construction Code/NCC - Volume 2 - Building Code of Australia Class 1 & Class 10 Buildings Statutory Requirements
- All work to be carried out in accordance with RFS Bushfire Guidelines - Planning for Bush Fire Protection 2019 (NSW), taking preference over Basix commitments or approval conditions
- Builder to comply with requirements of all legally constituted authorities having jurisdiction over the building works & the provisions of the Home Building Act
- Prior to commencement of work, builder to provide temporary toilet facilities for the use of subcontractors where the local authority requires the temporary toilet. On completion, builder to remove.
- All Earthworks shall be in accordance with Engineers details & NCC H1D3
- All Earthworks retaining structures (ie retaining walls) to NCC H1D3, AS 4678 and Engineers details (if applicable)
- Stormwater & Drainage to be carried out in accordance with NCC H2D2
- All Plumbing, Electrical, Gas & other construction work to be completed by licensed tradespersons
- Where Natural Ventilation isn't provided in a WC, mechanical ventilation to be installed in accordance with NCC 10.6
- All accessibility provisions to AS1428.1 (if applicable)
- Do not scale from plans

- Legend:
- DP: Downpipe

NGL: Natural Ground Line

FGL: Finished Ground Line

FFL: Finished Floor Level

FSL: Finished Surface Level

RL: Reduced Level

WC: Water Closet

Van: Vanity

FW: Floor Waste

TOW: Top of Wall

BOW: Bottom of Wall

RWT: Rainwater Tank

Subject Site:

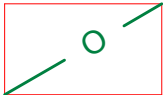


Revision Schedule:

Rev:	Changes Made:	Date:	By:
V1	Preliminary Plans	1/11/24	WR
V2	Boundary offsets & laundry layout amended.	7/11/24	WR
V3	Final plan issued.	11/11/24	WR

SEDIMENT TRAPPING DEVICES.

SEDIMENT FENCES



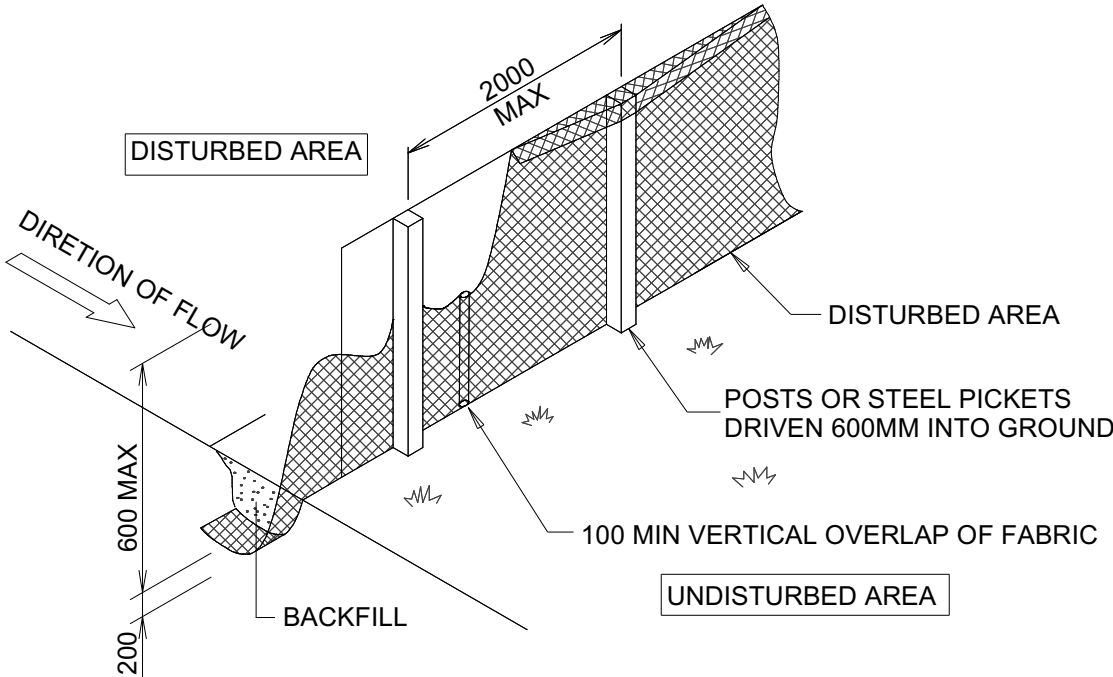
DESCRIPTION
A sediment fence (also known as a silt fence) is a temporary barrier of geotextile filter or fabric, usually supported by steel mesh and steel posts.

DESIGN LIMITATIONS
Sediment Fences have the following design limits:
- The area draining to the fence is 0.6ha or less.
- The maximum slope length behind the fence is 60m.

PURPOSE
Sediment fences filter runoff, trapping the sediment and allowing filtered water to pass through.

INSTALLATION
Sediment fences should have a stable outlet or overflow point, in-case the flow rates exceed their capacity to filter the water.

MAINTENANCE
After each rain event check for undercutting, sagging and overtopping, and repair immediately. Sediment collected should be removed from site.



SEDIMENT TRAPPING DEVICES.

NOT TO SCALE

ISSUED FOR DEVELOPMENT /
CONSTRUCTION CERTIFICATE PURPOSES

Supplied By:



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Client: Daniel & Merinda Nash

Address: 2729 Braidwood Road, Lake Bathurst, NSW 2580
Lot 9 / DP1234923

Council: GOULBURN MULWAREE COUNCIL

Plan: Title Page

Drawn: WR 24-144

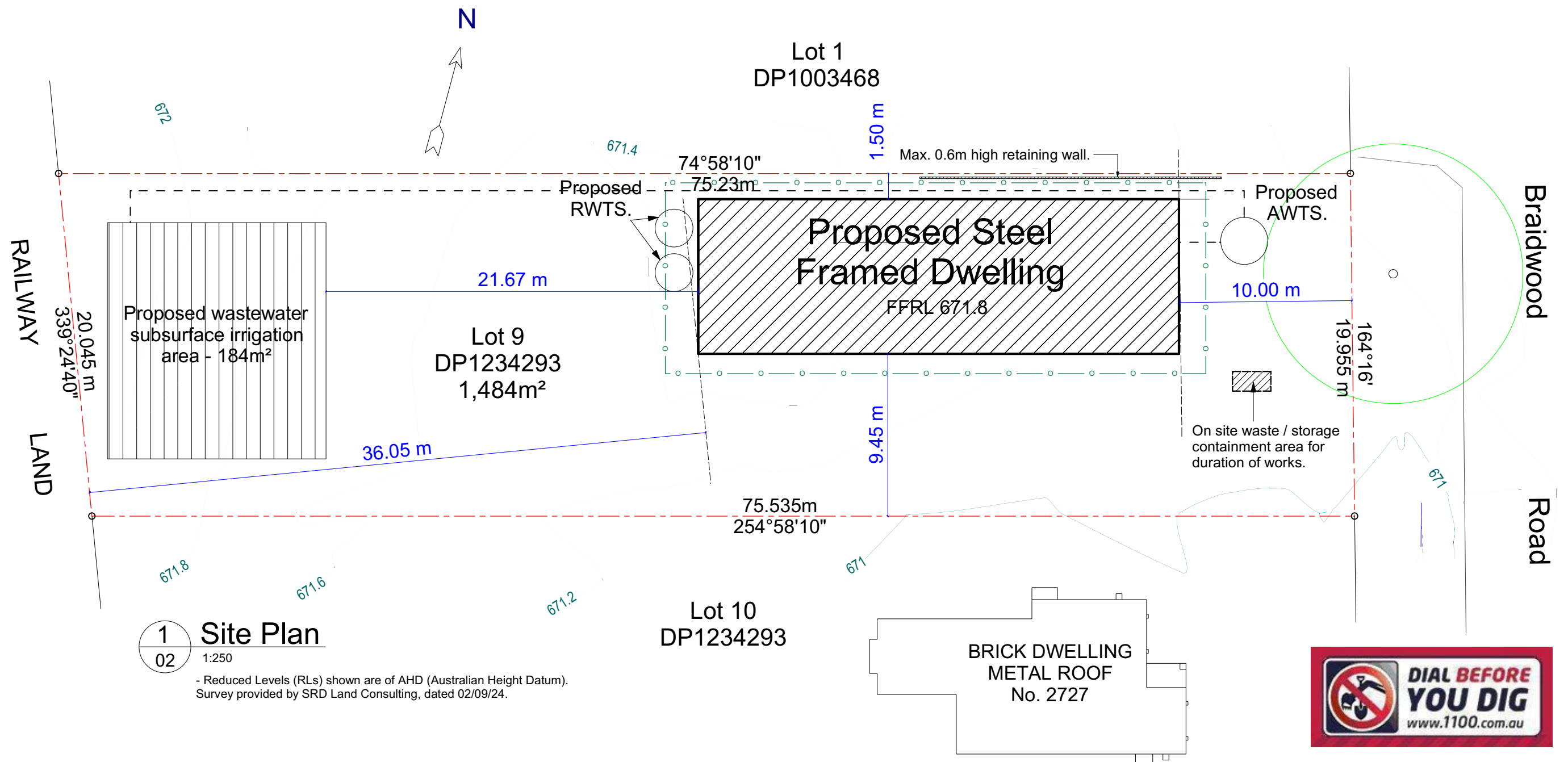
Date: November 2024

Scale: N/A

Job No: 241101

Sheet: 1 of 12

Note: Plans to be printed on A3 to be to scale. Do not scale off plans. All dimensions and natural ground heights to be checked and verified on site.



1 Site Plan
02 1:250

- Reduced Levels (RLs) shown are of AHD (Australian Height Datum).
Survey provided by SRD Land Consulting, dated 02/09/24.

Site Calculations

Area Summary		m ²
Proposed Dwelling.....	=	252.00
Site Area.....	=	1,484.00
% Site Coverage.....	=	16.98%
Landscaped Area.....	=	1,232.00
% Landscaped Area.....	=	83.02%

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Plan:

Site Plan

Drawn: WR 24-144

Date: November 2024

Scale: 1:250 @ A3

Job No: 241101

Sheet:

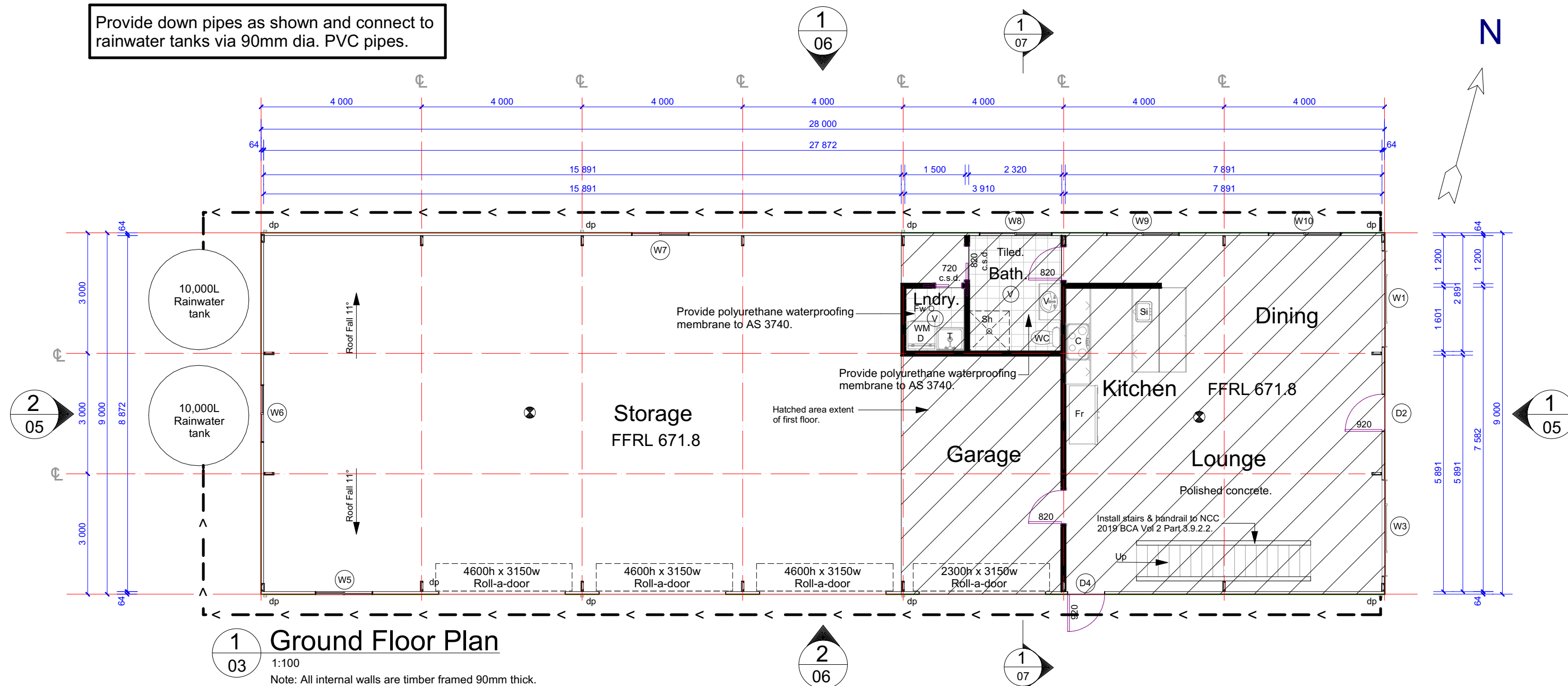
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of:

12

Note: Plans to be printed on A3 to be to scale. Do not scale off plans. All dimensions and natural ground heights to be checked and verified on site.

Provide down pipes as shown and connect to rainwater tanks via 90mm dia. PVC pipes.



Ground Floor Plan

1:100
Note: All internal walls are timber framed 90mm thick.
- Reduced Levels (RLs) shown are of AHD (Australian Height Datum).
Survey provided by SRD Land Consulting, dated 02/09/24.

Legend

- Proposed roof line.
- Proposed sewer line.
- Proposed stormwater drainage line.
- Proposed external steel framed wall.
- Proposed 90mm thick internal timber framed wall.
- Install floor waste in accordance with NCC Housing Provisions Clause 10.2.12.
- Install interconnected hard wired smoke alarm.
- Install mechanical vent ducted to external wall.

Legend

- Si - Denotes Sink
- C - Denotes Cooktop
- Fr - Denotes Fridge
- WM - Denotes Washing Machine
- D - Denotes Dryer
- WC - Denotes Toilet
- T - Denotes Tub
- Sh - Denotes Shower
- V - Denotes Vanity

Glazed Window/Door Schedule

Window/Door	Type	Size	Shading device	Frame and Glass Type
W1	Aluminium Sliding	2100h x 2410w	Refer to BASIX certificate	Refer to BASIX certificate
D2	Hinged	2100h x 920w	Refer to BASIX certificate	Refer to BASIX certificate
W3	Aluminium Sliding	2100h x 2410w	Refer to BASIX certificate	Refer to BASIX certificate
D4	Hinged	2100h x 920w	Refer to BASIX certificate	Refer to BASIX certificate
W5	Aluminium Sliding	900h x 1430w	Refer to BASIX certificate	Refer to BASIX certificate
W6	Aluminium Sliding	900h x 1430w	Refer to BASIX certificate	Refer to BASIX certificate
W7	Aluminium Sliding	900h x 1430w	Refer to BASIX certificate	Refer to BASIX certificate
W8	Aluminium Sliding (Obscured)	600h x1810w	Refer to BASIX certificate	Refer to BASIX certificate
W9	Aluminium Sliding	600h x1810w	Refer to BASIX certificate	Refer to BASIX certificate
W10	Aluminium Sliding	600h x1810w	Refer to BASIX certificate	Refer to BASIX certificate
W11	Aluminium Sliding	1200h x 2410w	Refer to BASIX certificate	Refer to BASIX certificate
W12	Aluminium Sliding	1200h x 2410w	Refer to BASIX certificate	Refer to BASIX certificate
W13	Aluminium Sliding	600h x 2110w	Refer to BASIX certificate	Refer to BASIX certificate
W14	Aluminium Sliding	600h x 2110w	Refer to BASIX certificate	Refer to BASIX certificate
W15	Aluminium Sliding (Obscured)	600h x 1210w	Refer to BASIX certificate	Refer to BASIX certificate
W16	Aluminium Sliding	1200h x 1810w	Refer to BASIX certificate	Refer to BASIX certificate

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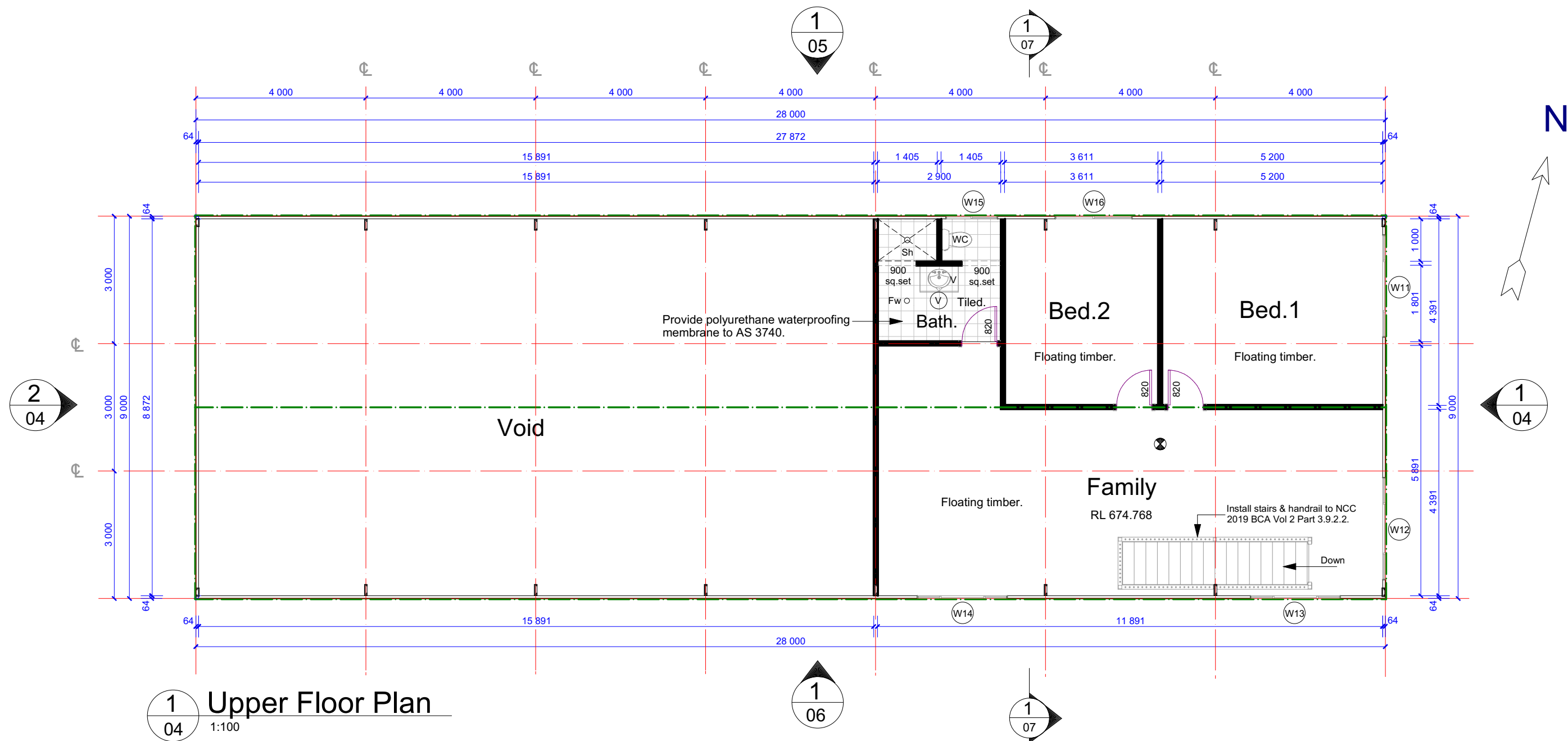
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Plan: Ground Floor Plan

Drawn: WR 24-144 Date: November 2024 Scale: 1:100 @ A3 Job No: 241101	Sheet: 3 of: 12
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Note: Plans to be printed on A3 to be to scale. Do not scale off plans. All dimensions and natural ground heights to be checked and verified on site.



Note: All internal walls are timber framed 90mm thick.

- Reduced Levels (RLs) shown are of AHD (Australian Height Datum).
Survey provided by SRD Land Consulting, dated 02/09/24.

Legend

- Proposed roof line.
- S - Proposed sewer line.
- > - - > - Proposed stormwater drainage line.
- Proposed external steel framed wall.
- Proposed 90mm thick internal timber framed wall.

- Fw O Install floor waste in accordance with NCC Housing Provisions Clause 10.2.12.
- Install interconnected hard wired smoke alarm.
- Install mechanical vent ducted to external wall.

Legend

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W9	Aluminium Sliding	600h x 1810w	Refer to BASIX certificate	Refer to BASIX certificate
W10	Aluminium Sliding	600h x 1810w	Refer to BASIX certificate	Refer to BASIX certificate
W11	Aluminium Sliding	1200h x 2410w	Refer to BASIX certificate	Refer to BASIX certificate
W12	Aluminium Sliding	1200h x 2410w	Refer to BASIX certificate	Refer to BASIX certificate
W13	Aluminium Sliding	600h x 2110w	Refer to BASIX certificate	Refer to BASIX certificate
W14	Aluminium Sliding	600h x 2110w	Refer to BASIX certificate	Refer to BASIX certificate
W15	Aluminium Sliding (Obscured)	600h x 1210w	Refer to BASIX certificate	Refer to BASIX certificate
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Lot 9 / DP1234923

Council: GOULBURN MULWAREE COUNCIL

Plan:

Upper Floor Plan

Drawn: WR 24-144

Date: November 2024

Scale: 1:100 @ A3

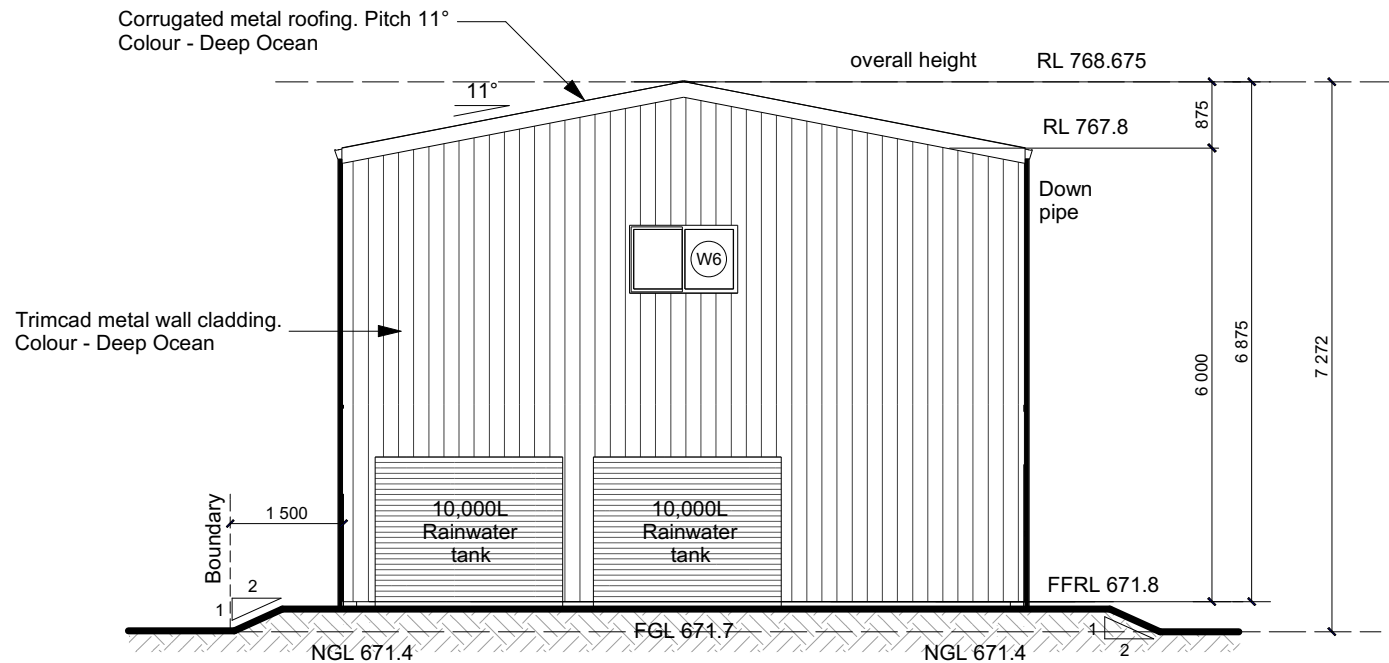
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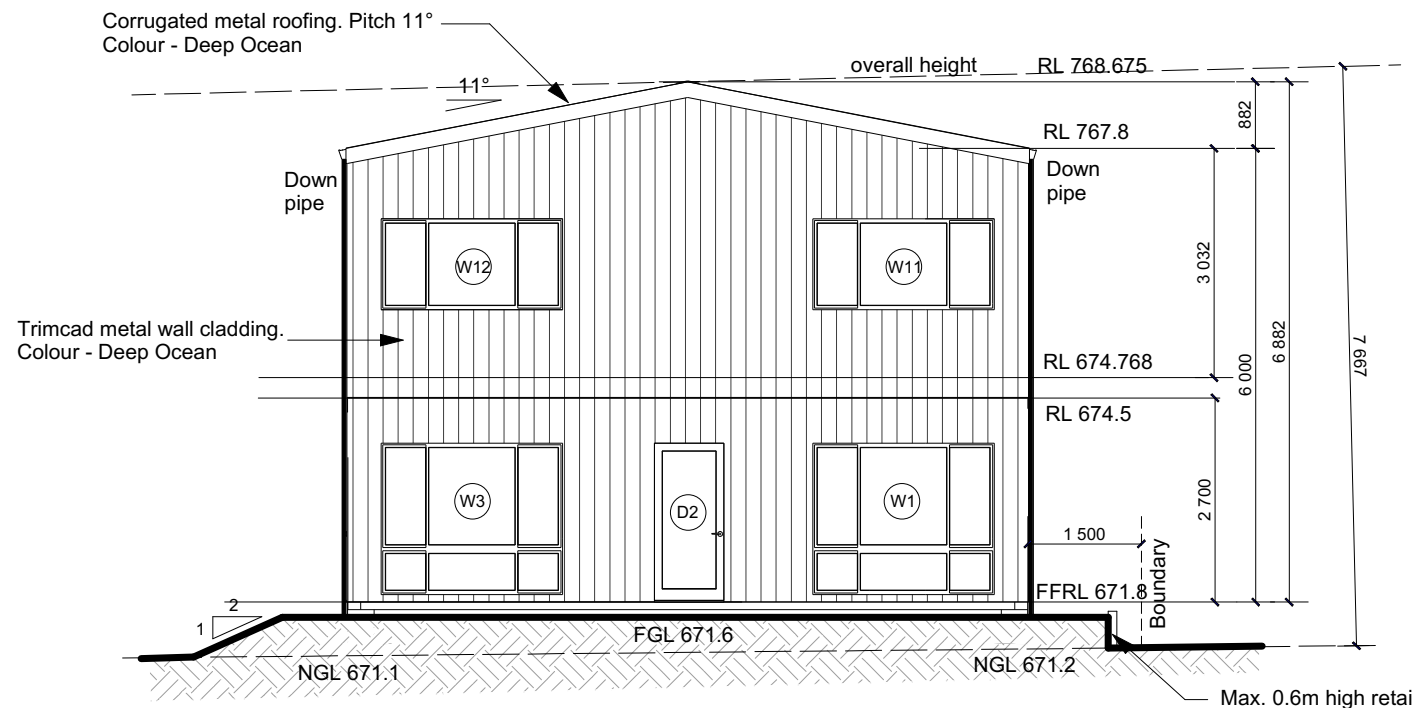
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2 West Elevation
05 1:100



1 East Elevation
05 1:100

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W12	Aluminium Sliding	1200h x 2410w	Refer to BASIX certificate	Refer to BASIX certificate
W13	Aluminium Sliding	600h x 2110w	Refer to BASIX certificate	Refer to BASIX certificate
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Plan:

Elevations

Drawn: WR 24-144

Date: November 2024

Scale: 1:100 @ A3

Job No: 241101

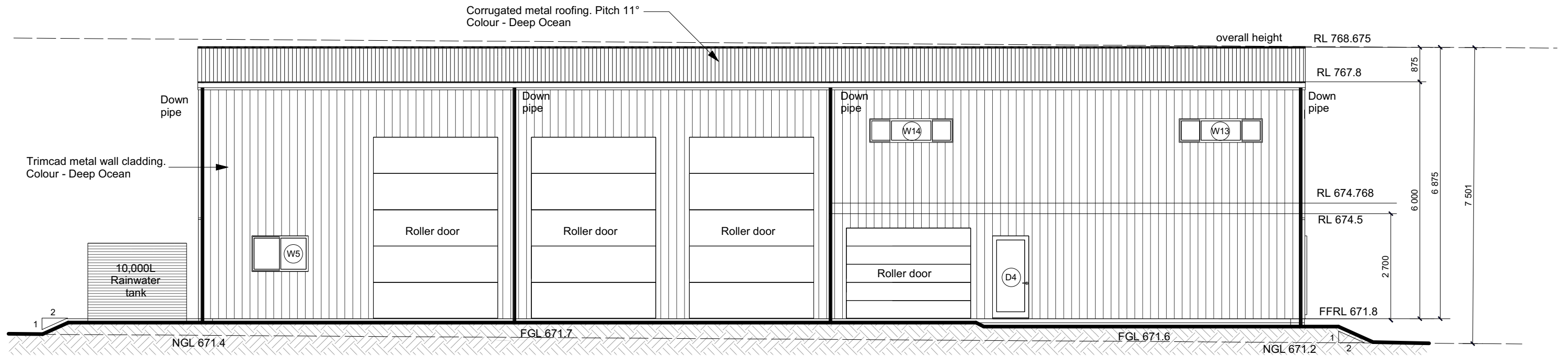
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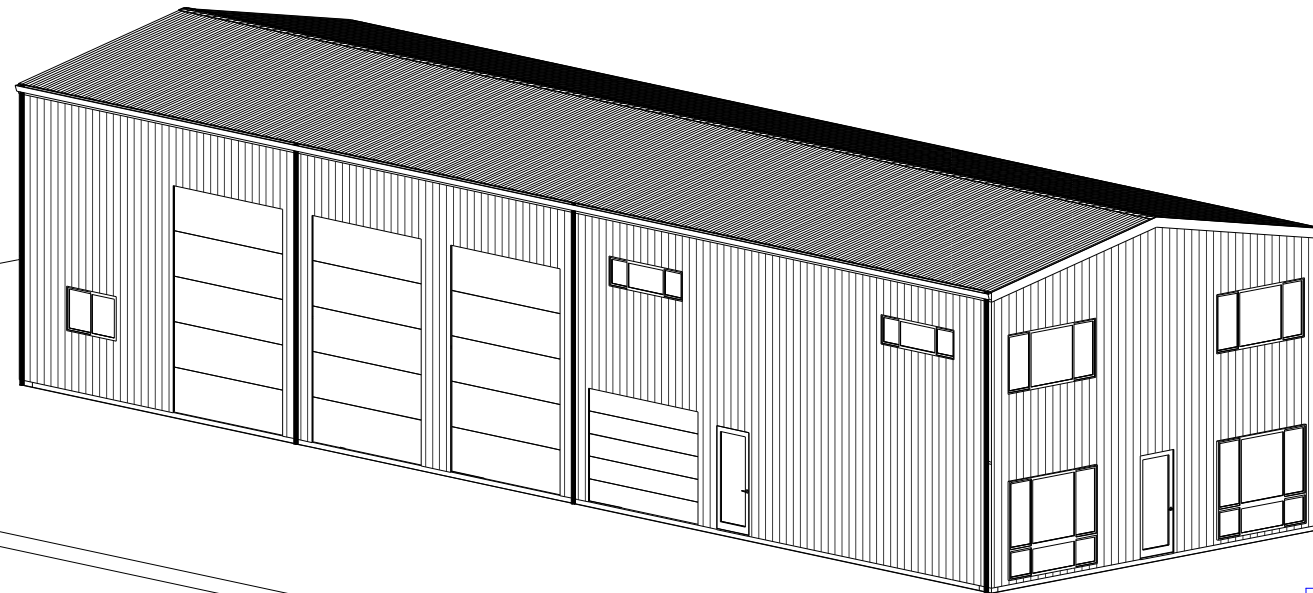


1 South Elevation

06

1:100

- Reduced Levels (RLs) shown are of AHD (Australian Height Datum).
Survey provided by SRD Land Consulting, dated 02/09/24.



2 Southern Orthographic View

06

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Plan:

Elevations

Drawn: WR 24-144

Date: November 2024

Scale: 1:100 @ A3

Job No: 241101

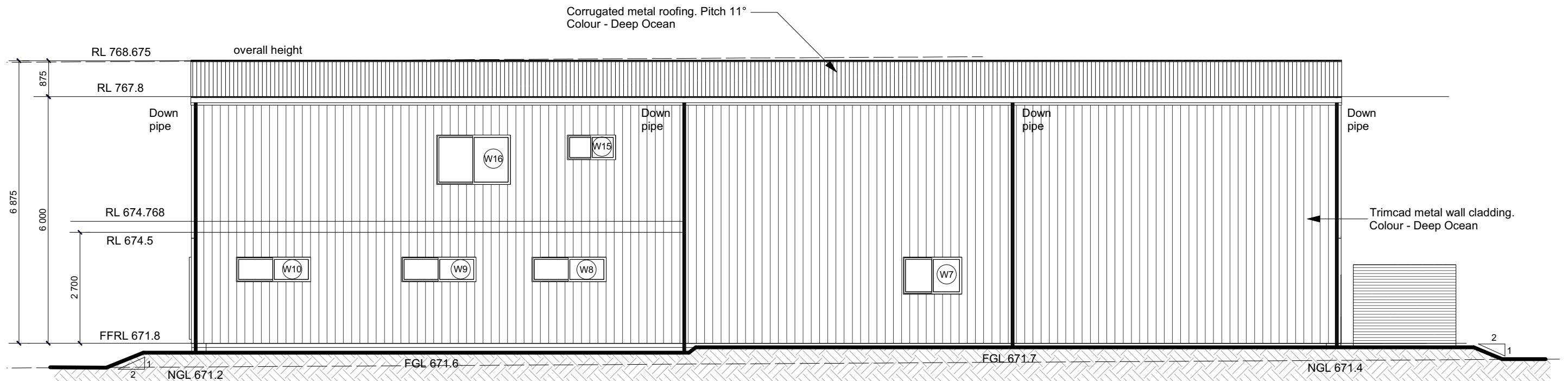
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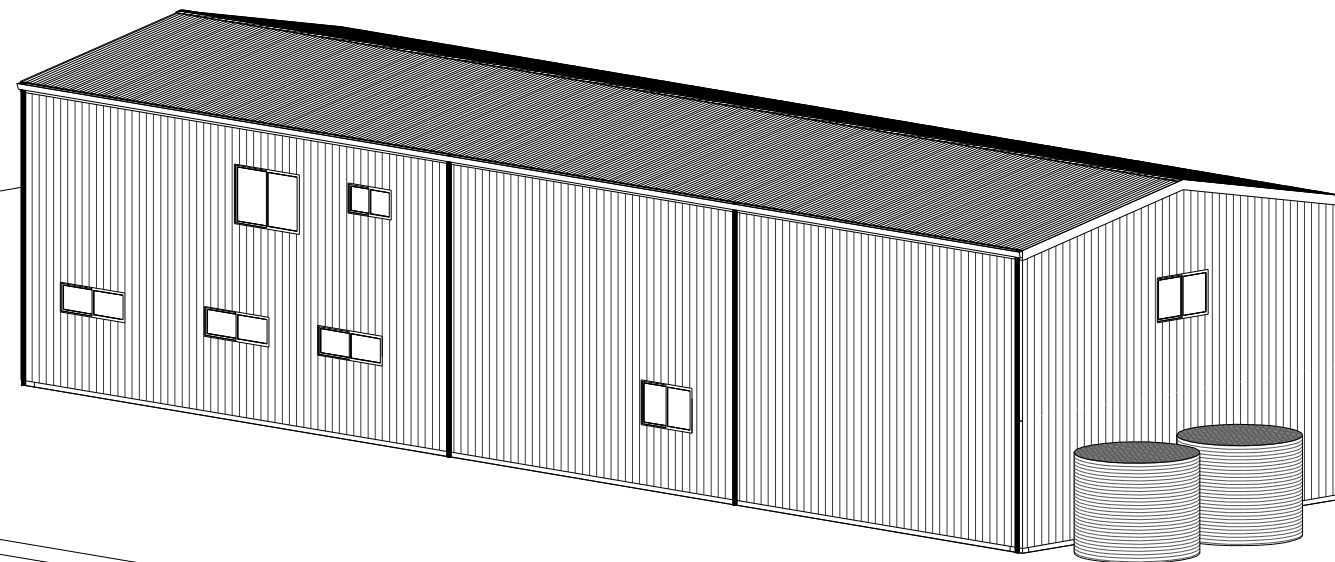
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1 North Elevation

1:100

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2 Northern Orthographic View

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Council: GOULBURN MULWAREE COUNCIL

Plan:

Elevations

Drawn: WR 24-144

Date: November 2024

Scale: 1:100 @ A3

Job No: 241101

Sheet:

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Of:

12

Note: Plans to be printed on A3 to be to scale. Do not scale off plans. All dimensions
and natural ground heights to be checked and verified on site.

All works to be completed in accordance with the performance requirements of the National Construction Code (NCC) 2022 Volume 2

Detached Portal Frame Sheds

Part H1 Structure (dealt with in Engineering)

- H1P1 Structural reliability and resistance
- H1P2 Buildings in flood areas
- H1D2 Structural provisions
- H1D3 Site preparation
- H1D4 Footings and slabs
- H1D6 Framing
- H1D7 Roof and wall cladding
- H1D8 Glazing
- H1D9 Earthquake areas
- H1D10 Flood hazard areas
- H1D11 Attachment of framed decks and balconies to external walls of buildings using a waling plate
- H1D12 Piled footings

Part H2 Damp and weatherproofing (dealt with in Engineering)

- H2P1 Rainwater management
- H2P2 Weatherproofing
- H2P4 Drainage from swimming pools
- H2D2 Drainage

Part H3 Fire safety (dealt with in Engineering)

- H3D1 Deemed-to-Satisfy Provisions
- H3D2 Fire hazard properties and non-combustible building elements
- H3D3 Fire separation of external walls

Part H4 Health and amenity

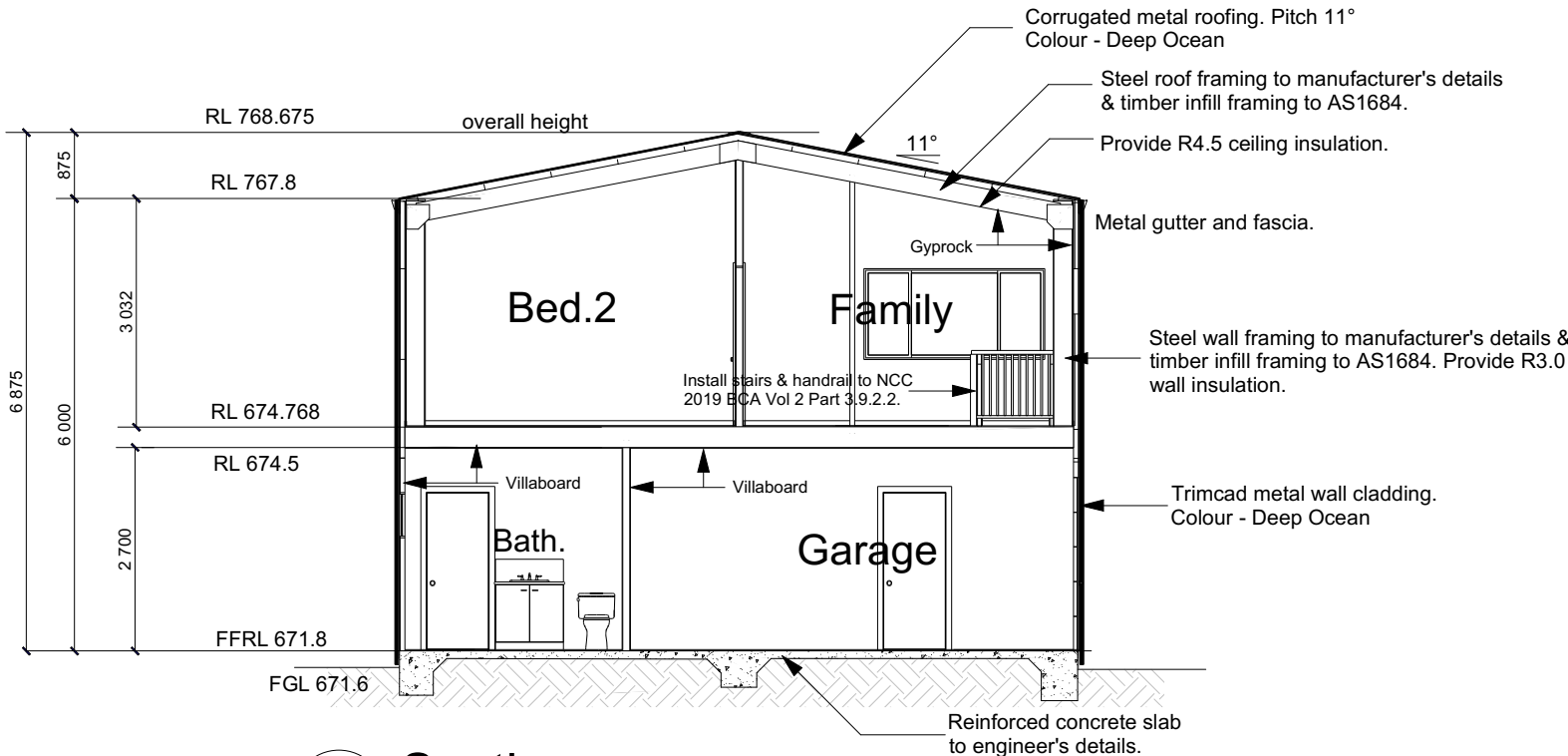
- H4P1 Wet areas
- H4P2 Room heights

Part H5 Safe movement and access

- H5P1 Movement to and within a building

Part H7 Ancillary provisions and additional construction requirements (dealt with in Engineering)

- H7P1 Swimming pool access
- H7P2 Swimming pool reticulation systems
- H7P5 Buildings in bushfire prone areas



1
08

Section

1:100

Upper floor joist plan and structural details to be provided by an engineer.

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*If any uncontained fill is required on site, Class 'P' is applicable.

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Plan: Section

Drawn: WR 24-144
Date: November 2024
Scale: 1:100 @ A3
Job No: 241101

Sheet: 8
of: 12

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This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 11 November 2024
To be valid, this certificate must be submitted with a development application or lodged with a complying development certificate application within 3 months of the date of issue.



Project summary		
Project name	Daniel & Merinda Nash	
Street address	2729 BRAIDWOOD ROAD LAKE BATHURST 2580	
Local Government Area	Sydney City Council	
Plan type and plan number	Deposited Plan	
Lot no.	9	
Section no.	1234293	
Project type	dwelling house (detached)	
No. of bedrooms	2	
Project score		
Water	✔ 64	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 100	Target 63
Materials	✔ 28	Target n/a

Certificate Prepared by	
Name / Company Name:	Mr Wayne Ryan
ABN (if applicable):	

Description of project

Project address		Assessor details and thermal loads	
Project name	Daniel & Merinda Nash	Assessor number	n/a
Street address	2729 BRAIDWOOD ROAD LAKE BATHURST 2580	Certificate number	n/a
Local Government Area	Sydney City Council	Climate zone	n/a
Plan type and plan number	Deposited Plan	Area adjusted cooling load (MJ/m².year)	n/a
Lot no.	9	Area adjusted heating load (MJ/m².year)	n/a
Section no.	1234293	Project score	
Project type		Water	✔ 64 Target 40
Project type	dwelling house (detached)	Thermal Performance	✔ Pass Target Pass
No. of bedrooms	2	Energy	✔ 100 Target 63
Site details		Materials	✔ 28 Target n/a
Site area (m²)	1484		
Roof area (m²)	108		
Conditioned floor area (m²)	167.0		
Unconditioned floor area (m²)	14.9		
Total area of garden and lawn (m²)	100		
Roof area of the existing dwelling (m²)	0		

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscape			
The applicant must plant indigenous or low water use species of vegetation throughout 50 square metres of the site.	✔	✔	
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray mode and/or coverage tests) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✔	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 20000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 108 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to:			
• all toilets in the development		✔	✔
• the cold water tap that supplies each clothes washer in the development		✔	✔

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✔	✔
• all hot water systems in the development		✔	✔
• all indoor cold water taps (not including taps that supply clothes washers) in the development		✔	✔

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Do-it-yourself Method			
General features			
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.	✔	✔	✔
The conditioned floor area of the dwelling must not exceed 300 square metres.	✔	✔	✔
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✔	✔	✔
The dwelling must not contain third level habitable attic room.	✔	✔	✔
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✔	✔	✔
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.	✔	✔	✔
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✔

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - concrete slab on ground, conventional slab.	108	nil;not specified	nil	
floor - above habitable rooms or mezzanine, particle board, frame: timber - untreated softwood.	81.8	nil;none	nil	
floor - suspended floor above garage, particle board, frame: timber - untreated softwood.	26.2	0.8 (or 1.50 including construction) (down);fibreglass batts or roll	nil	

Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
garage floor - concrete slab on ground.	23	none	nil	
external wall: framed (metal clad); frame: timber - untreated softwood.	all external walls	3.00 (or 3.50 including construction);fibreglass batts or roll	nil	wall colour: Medium (solar absorptance 0.48-0.7)
external garage wall: framed (metal clad); frame: timber - untreated softwood.	10.8	fibreglass batts or roll	nil	
internal wall shared with garage: plasterboard; frame: timber - untreated softwood.	51.3	1.08 (or 1.50 including construction);fibreglass batts or roll	nil	
internal wall: plasterboard; frame: timber - untreated softwood.	69.26	none	nil	
ceiling and roof - raked ceiling / pitched or skillion roof, framed - metal roof, timber - untreated softwood.	108	ceiling: 4.5 (up); roof: foil/ sarking ;ceiling: fibreglass batts or roll; roof: foil/sarking.	nil	roof colour: medium solar absorptance 0.48-0.69; ceiling area fully insulated

Note	• Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.
Note	• If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (6)) of the National Construction Code.
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.
Note	• Roof space ventilation needs to meet the condensation management provisions in the ABCB Housing Provisions of the National Construction Code.
Note	• Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.

Supplied By:



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Proposed: Steel Framed Dwelling

Client: Daniel & Merinda Nash

Address: 2729 Braidwood Road, Lake Bathurst, NSW 2580
Lot 9 / DP1234923

Council: GOULBURN MULWAREE COUNCIL

Plan:

BASIX Requirements

Drawn: WR 24-144

Date: November 2024

Scale: N/A

Job No: 241101

Sheet:

9
or:
12

Note: Plans to be printed on A3 to be to scale. Do not scale off plans. All dimensions and natural ground heights to be checked and verified on site.

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Ceiling fans			
The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room.	✔	✔	✔
The applicant must install at least one ceiling fan in each bedroom.	✔	✔	✔
• The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code .	✔	✔	✔

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Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazed windows, doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.	✔	✔	✔
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✔	✔	✔
The following requirements must also be satisfied in relation to each window and glazed door:	✔	✔	✔
• The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.	✔	✔	✔
• Each window and glazed door must have a U- value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✔	✔
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).	✔	✔	✔

Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
North facing					
W8	600.00	1810.00	aluminium, single glazed (U-value: <=7.0, SHGC: >0.6)	none	not overshadowed
W9	600.00	1810.00	aluminium, single glazed (U-value: <=7.0, SHGC: >0.6)	none	not overshadowed
W10	600.00	1810.00	aluminium, single glazed (U-value: <=7.0, SHGC: >0.6)	none	not overshadowed
W15	600.00	1210.00	aluminium, single glazed (U-value: <=7.0, SHGC: >0.6)	none	not overshadowed
W16	1200.00	1810.00	aluminium, single glazed (U-value: <=7.0, SHGC: >0.6)	none	not overshadowed

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Glazed window/door no.	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
East facing					
W1	2100.00	2410.00	aluminium, single glazed (U-value: <=7.0, SHGC: >0.6)	none	not overshadowed
D2	2100.00	920.00	aluminium, single glazed (U-value: <=7.0, SHGC: >0.6)	none	not overshadowed
W3	2100.00	2410.00	aluminium, single glazed (U-value: <=7.0, SHGC: >0.6)	none	not overshadowed
W11	1200.00	2410.00	aluminium, single glazed (U-value: <=7.0, SHGC: >0.6)	none	not overshadowed
W12	1200.00	2410.00	aluminium, single glazed (U-value: <=7.0, SHGC: >0.6)	none	not overshadowed
South facing					
D4	2100.00	920.00	aluminium, single glazed (U-value: <=7.0, SHGC: >0.6)	none	not overshadowed
W13	600.00	2110.00	aluminium, single glazed (U-value: <=7.0, SHGC: >0.6)	none	not overshadowed
W14	600.00	2110.00	aluminium, single glazed (U-value: <=7.0, SHGC: >0.6)	none	not overshadowed

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Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric boosted solar with a performance of 31 to 35 STCs or better.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning: Energy rating: EER 3.5 - 4.0		✔	✔
The bedrooms must not incorporate any cooling system, or any ducting which is designed to accommodate a cooling system.		✔	✔
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 3-phase airconditioning: Energy rating: EER 3.5 - 4.0		✔	✔
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✔	✔
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✔	✔
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✔	✔
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✔	✔
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✔	✔
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔

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Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔
Alternative energy			
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.	✔	✔	✔
The photovoltaic system must consist of: • photovoltaic collectors with the capacity to generate at least 6.5 peak kilowatts of electricity, installed at an angle between 10 degrees and 25 degrees to the horizontal facing north	✔	✔	✔
Other			
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	

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Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✔ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✔ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✔ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

BASIX Department of Planning, Housing and Infrastructure www.basix.nsw.gov.au Version: 4.03 / EUCALYPTUS_03_01_0 Certificate No.: 1772494S Monday, 11 November 2024 page 12/12

ISSUED FOR DEVELOPMENT / CONSTRUCTION CERTIFICATE PURPOSES

Supplied By:





Fernleigh

DRAFTING | COUNCIL SERVICES

fernleighdrafting.com.au hello@fernleighdrafting.com.au

Proposed: Steel Framed Dwelling

Client:

Daniel & Merinda Nash

Address:

2729 Braidwood Road, Lake Bathurst,
NSW 2580
Lot 9 / DP1234923

Council:

GOULBURN MULWAREE COUNCIL

Plan: BASIX Requirements (Continued)

	Drawn: WR 24-144	Sheet: 10 or: 12
	Date: November 2024	
	Scale: N/A	
	Job No: 241101	

Note: Plans to be printed on A3 to be to scale. Do not scale off plans. All dimensions and natural ground heights to be checked and verified on site.

General Specification:

Construction requirements are to comply with the National Construction Code, General

- Drawings prepared from information supplied by the owner and/or builder.
- Dimensions are in millimeters unless noted otherwise.
- All dimensions shall be verified on site.
- Actual Surveyed Levels to take precedence.
- Do not scale off drawings.
- It is the responsibility of the builder to verify documents as to their accuracy and suitability.
- These plans are to be read in conjunction with Engineer's details.
- NCC refers to the National Construction Code – 2022, Building Code of Australia - Class 1 and Class 10 Buildings.

Statutory Requirements

- All work to be carried out in accordance with the NCC, AS3959-2018, the RFS Bushfire Guidelines - Planning for Bush Fire Protection 2019 for NSW which are to take precedence, conditions imposed by the local authority and the commitments outlined in the relevant Basix certificate.
- The builder is to comply with the requirements of all legally constituted authorities having jurisdiction over the building works and the provisions of the Home Building Act.
- Prior to the commencement of building work, the builder shall provide temporary toilet facilities for the use of subcontractors. Where the local authority requires the temporary toilet, on completion the builder shall remove the convenience.

NCC Requirements

- All earthworks shall be in accordance with the relevant parts of the NCC.
- All excavations and under floor fill shall be in accordance with the relevant parts of the NCC.
- All earth retaining structures shall be in accordance with the engineer's details and in accordance with the relevant parts of the NCC.
- Storm water drainage shall be carried out in accordance with the relevant parts of the NCC.
- Primary building elements are to be protected from subterranean termites in accordance with the relevant parts of the NCC.
- All footings and slabs shall comply with the relevant parts of the NCC.
- Clay brickwork shall comply with the relevant parts of the NCC.
- Masonry accessories shall be constructed and installed in accordance with AS4773 or AS3700. Appropriate ties shall be provided to articulated masonry joints.
- Lintels used to support brickwork over wall openings shall comply with AS4773 or AS3700 and be protected from corrosion.
- Weatherproofing of external masonry walls shall be carried out in accordance with AS4773 or AS3700.
- Engaged piers in single leaf masonry walls shall be constructed in accordance with AS4773 or AS3700.
- Provide adequate cross ventilation to space under suspended ground floors in accordance with the relevant parts of the NCC. Sub floor access to be provided as indicated on the plan.
- All timber framework shall comply with the relevant parts of the NCC.
- Roof trusses shall be designed in accordance AS1720, and erected, fixed and braced in accordance with manufacturer's recommendations.
- Roof cladding, gutters and downpipes and wall cladding shall be in accordance with the relevant parts of the NCC.
- Sarking shall comply with AS/NZS4200.1&2.
- All glazing shall comply with in accordance with the relevant parts of the NCC.
- Fire properties for materials and construction, must comply with the relevant parts of the NCC.
- Fire separation, where required, must comply with the relevant parts of the NCC.
- Fire protection of separating walls and floors, must comply with the relevant parts of the NCC.
- Fire separation of garage top dwellings, must comply with the relevant parts of the NCC.
- Provide and install hard wired interconnected smoke alarms in accordance with AS3786 and in accordance with the relevant parts of the NCC.
- Internal wet areas and balconies over habitable rooms to be waterproofed in accordance with the relevant parts of the NCC.. Wet area wall lining is to be fixed in accordance with manufacturer's recommendations.
- All timber doors and door sets shall be manufactured and installed in accordance with AS2047.
- All plumbing shall comply with the requirements of the relevant supply authority and AS3500, and be carried out by a licensed plumber.
- All electrical work shall comply with the requirements of the relevant supply authority and AS3000, and be carried out by a licensed electrician.
- All gas installations shall comply with the requirements of the relevant supply authority and be carried out by a licensed gas fitter.
- Installation of wall and floor tiles shall be in accordance with AS3958.1.
- Mechanical ventilation is to be installed in accordance with the relevant parts of the NCC.
- Building fabric must comply with the relevant parts of the NCC.
- Insulation, where required, must comply with AS/NZS4859.1.
- Building is to be sealed to the requirements of in accordance with the relevant parts of the NCC, including chimneys, flues, roof lights, external windows and doors, exhaust fans, roof, walls and floors.
- Services are to be installed to the requirements of NSW in accordance with the relevant parts of the NCC., including hot water supply, insulation of services, central heating water piping and heating and cooling ductwork.

General Notes:

- All work to be carried out according to relevant Australian standards / codes and good building practice
- Builder to verify all measurements and materials before the commencement of any work
- Builder to verify and maintain any internal load bearing walls where applicable
- Builder to verify and match existing roof pitch where applicable
- All fixings, fasteners and connections shall comply with manufacturers/ engineers specifications
- All steel columns, support beams and / or structure shall comply with engineers specifications
- All framing and bracings shall comply with AS 1684-2010 or relevant Australian standards.
- All r.c. concrete slabs and footings to be to engineers specifications
- All masonry tie down and bonding beams to be to engineers specifications
- All masonry construction shall comply with current NCC
- All wet areas and waterproofing shall comply with current NCC
- Sub-floor ventilation as per current NCC
- Wind rating to be nominated by engineer / council u.n.o.
- Bushfire zoning and specifications to be nominated by council / RFS u.n.o.
- Mining Subsidence zoning and specifications to be nominated by council u.n.o.
- Waste / stormwater catchment and sewage disposal to be connected to existing systems or local council requirements
- Smoke Detection units shall be installed as per current NCC
- Termite protection to local council requirements
- Refer to additional building specifications for further details where applicable
- Refer to Basix spec for additional requirements where applicable
- RL levels nominal design only. Actual Surveyed levels to take precedence
- Suggested layout only
- Do not scale

ISSUED FOR DEVELOPMENT / CONSTRUCTION CERTIFICATE PURPOSES

Supplied By:





Fernleigh

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Proposed: Steel Framed Dwelling

Client: Daniel & Merinda Nash

Address: 2729 Braidwood Road, Lake Bathurst, NSW 2580
Lot 9 / DP1234923

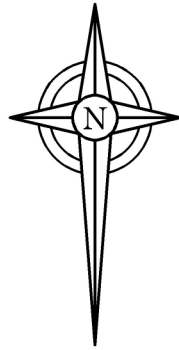
Council: GOULBURN MULWAREE COUNCIL

Plan:

General Specification & Notes

	Drawn:	WR 24-144	Sheet: 11 of: 12
	Date:	November 2024	
	Scale:	N/A	
	Job No:	241101	

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M. G. A. MERIDIAN



PLAN SHOWING
DETAIL SITE SURVEY
OF LOT 9 IN
D.P. 1234293
2729 BRAIDWOOD ROAD
LAKE BATHURST

REFERENCE: 40401

LGA:
GOULBURN MULWAREE

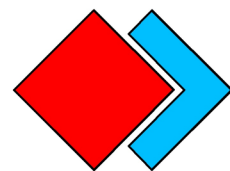
DATE: 02/09/2024

PLAN EDITION: A

PLAN NUMBER:
40401-A-2024-09-02-SD

SCALE: 1:250

SHEET: 1 OF 1



SRD
LAND CONSULTING

GOULBURN: 4823 5100 | YOUNG: 6382 1501
THE LAND CONSULTANT SPECIALISTS
WWW.SRDLAND.COM.AU

Origin of Level: GNSS
Contour interval: 0.2m
Height Datum: ASSUMED AHD

The plan has been prepared for Detail
purposes for use in the matter.

NOT TO BE USED FOR BOUNDARY
DEFINITION

